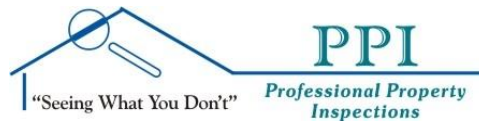




For the Property at:
111 SAAMPLE PARK LANE
BRENTWOOD, TN 37027

Prepared for: JANE AND RICHARD CLIENTS
Inspection Date: Thursday, February 17, 2011
Prepared by: Jerry Spiva



Professional Property Inspections
1123 Nashville Pike
Gallatin, TN 37066
615-451-0011
615-246-2636
www.ppi.bz
jmspiva@comcast.net



March 5, 2011

Dear Jane and Richard Clients,

RE: Report No. 1110, v.3
111 Saample Park Lane
Brentwood, TN
37027

Thank you very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of The State of Tennessee and the American Society of Home Inspectors (A.S.H.I.) These documents define the scope of a home inspection.

A home inspection analyzes hundreds of features from all systems of a home, however, it does not address issues such as code compliance and building permits; your legal advisers may be able to help with this. Our focus is on functional items, and we pay particular attention to those components that are expensive to correct, or may create a significant safety problem in the home. As we look for these major items, we will come across some lesser items as well. As a courtesy, those are documented for you. However, please do not misinterpret this as an exhaustive list of all minor defects in the home. That is not the intent of the home inspection.

Our inspection philosophy separates components that are functional from those that are not. Where components are found to be functional, no recommendations will be offered. Where defects are noted, we will recommend improvements with a time frame. In some cases, components may be functional but clearly near the end of their life cycle. The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein.

Again, thank you very much for choosing us to perform your home inspection.

Sincerely,

Jerry Spiva
on behalf of
Professional Property Inspections

Professional Property Inspections
1123 Nashville Pike
Gallatin, TN 37066
615-451-0011
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INVOICE

March 5, 2011

Client: Jane and Richard Clients

Report No. 1110, v.3

For inspection at:

111 Saample Park Lane

Brentwood, TN

37027

on: Thursday, February 17, 2011

Home inspection

\$600.00

Total

\$600.00

PAID IN FULL - THANK YOU!

Professional Property Inspections
1123 Nashville Pike
Gallatin, TN 37066
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INSPECTION AGREEMENT

111 Saample Park Lane, Brentwood, TN February 17, 2011

Report No. 1110, v.3

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PARTIES TO THE AGREEMENT

Company

Professional Property Inspections
1123 Nashville Pike
Gallatin, TN 37066

Client

Jane and Richard Clients

This is an agreement between Jane and Richard Clients and Professional Property Inspections.

(Please read carefully)

THIS AGREEMENT is made and entered into by and between Jerry Spiva / Professional Property Inspections referred to as Inspector, and Client(s) referenced above. In consideration of the promise and terms of this Agreement, the parties agree as follows:

1. The client will pay the sum designated as the "Total fee" shown on the inspection confirmation email and/or invoice for the inspection of the Property, being the residence, and attached garage or carport, if applicable.
2. The Inspector will perform a visual inspection and prepare a written report of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection.
3. The parties agree that the Standards of Practice (the Standards) shall define the standard of duty and the conditions, limitations, and exclusions of the inspection and are incorporated by reference herein. A copy of the Standards Of Practice of The State of Tennessee and the American Society of Home Inspectors (ASHI) are available upon request. If the state where the inspection is performed imposes more stringent standards or administrative rule, then those state standards shall define the standard of duty and the conditions, limitations and exclusions of the inspection.
4. The parties understand and agree that the Inspector and its employees and its agents assume no liability or responsibility for the costs of repairing or replacing any unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. If repairs or replacement is done without giving the Inspector the required notice, the Inspector will have no liability to the Client. The client further agrees that the Inspector is liable only up to the cost of the inspection.
5. The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components or systems inspected. INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM.
6. If Client is married, Client represents that this obligation is a family obligation incurred in the interest of the family.
7. This Agreement represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties. This Agreement shall be construed and enforced in accordance with the laws of the State of Tennessee, and if that states laws or regulations are more stringent than the forms of the agreement, the state law or rule shall govern.

INSPECTION AGREEMENT

111 Saample Park Lane, Brentwood, TN February 17, 2011

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8. Systems, items, and conditions which are not within the scope of the building inspection include, but are not limited to: radon, formaldehyde, lead-based paint, asbestos, Chinese drywall, mercury, pesticides, treated lumber, carbon monoxide, toxic or flammable materials, molds, fungi, other environmental hazards; cockroaches, pest or rodent infestation; security and fire protection systems; household appliances; humidifiers; paint, wallpaper and other treatments to windows, interior walls, ceilings and floors; recreational equipment or facilities; underground storage tanks, fuel storage or delivery, energy efficiency measurements; concealed or private secured systems; sewage disposal, water supply or water wells; heating systems accessories; solar heating systems; heat exchangers; sprinkling systems; water softener; central vacuum systems, telephone, intercom or cable TV systems; antennae, lightning arrestors, trees or plants; governing codes, ordinances, statutes and covenants and manufacturer specifications, recalls. E1FS. Client understands that these systems, items and conditions are excepted from this inspection. Any general comments about these systems, items and conditions of the written report are informal only and DO NOT represent an inspection.

9. The Inspection and report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against Inspector, its employees or agents, arising out of the services performed by Inspector under this Agreement, the Client agrees to indemnify, defend and hold harmless Inspector from any and all damages, expenses, costs and attorney fees arising from such a claim.

10. The Inspection will not include an appraisal of the value or a survey. The written report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind.

11. In the event of a claim by the Client that an installed system or component of the premises which was inspected by the Inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. The Client further agrees that the Inspector is liable only if there has been a complete failure to follow the standards adhered to in the report or State law. Furthermore, any legal action must be brought within two (2) years from the date of the inspection, or will be deemed waived and forever barred.

12. This inspection does not determine whether the property is insurable.

13. Exclusions of systems normally inspected: N/A

DEFINITIONS

1. Installed systems and components: structural components; exterior; interior; roofing; plumbing; electrical; heating; central air-conditioning (weather permitting); insulation and ventilation.

2. Readily accessible systems and components: only those systems and components where Inspector is not required to remove personal items, furniture, equipment, soil, snow, or other items which obstruct access or visibility.

Client agrees to release reports to seller/buyer/REALTOR: Yes No

Inspector's Signature: Jerry Spiva, TN license #08

I, Jane and Richard Clients (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

SUMMARY

111 Saample Park Lane, Brentwood, TN February 17, 2011

Report No. 1110, v.3

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SUMMARY

ROOFING

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Note: For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. It is imperative that you read the complete inspection report then utilize this summary to assist you in compiling your own list of items that are of significance to you.

The deficiencies listed in the report (including the summary) -and the components related to these- should be further evaluated and repaired by a licensed contractor or professional. This will allow a specialist to fully evaluate the system and components, and identify issues beyond our scope of work.

There are some important things you should do when taking possession of a home. These are detailed in the Priority Maintenance document, which you can access by clicking on the link below.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Metal

Condition: • [Missing, loose or broken pieces](#)

Several panels are lifted.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Porch roof

Task: Repair

Time: Immediate

SLOPED ROOFING \ Composition shingles

Condition: • The flashing is lifting and damaging a shingle at the left corner of the breakfast room.

Implication(s): Damaged shingle-chance of leakage

Location: Porch roof

Task: Repair

Time: Immediate

Condition: • Debris under a shingle on the rear slope of the main garage should be removed.

Implication(s): May prevent the shingle from sealing properly.

Location: Rear Garage

Task: Repair

Time: Discretionary

Condition: • Minor shingle damage noted.

One of the laminated tabs is missing.

Implication(s): Cosmetic

Location: Front Slope of Breakfast room

Task: Replace

Time: Discretionary

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111 Saample Park Lane, Brentwood, TN February 17, 2011

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Condition: • Minor shingle damage noted.

Implication(s): Chance of leakage

Location: Valley above side door, edge of roof at kitchen

Task: Replace

Time: Immediate

Condition: • [Cracked](#)

Several ridge shingles are cracking.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Kitchen

Task: Repair or replace

Time: Immediate

Condition: • [Exposed fasteners](#)

Nails used to fasten the plumbing vent flashings and roof flashings should be caulked.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various locations

Task: Repair

Time: Immediate

Condition: • [Exposed fasteners](#)

Two exposed roofing nails are present on the roof. Nails such as these are hard to find and are easily missed. Recommend having a roofer examine the roof for exposed nails and repair or replace as necessary.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Garage/side porch

Task: Repair

Time: Immediate

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

Condition: • [No step or counter flashings](#)

The top of the step flashing is exposed. No counter flashing was installed to cover the step flashing and prevent water from seeping in along the flashing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Small porch roof at side door

Task: Repair

Time: Immediate

Exterior

WALLS \ Soffits and fascia

Condition: • [Loose or missing pieces](#)

A small opening in the eave located left of the rear pedestrian door should be repaired.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Chance of pests entering house

Location: Between house and 2-car garage

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Task: Repair

Time: Discretionary

WALLS \ Trim

Condition: • [Paint](#)

The trim on the left dormer needs painting.

Implication(s): Cosmetic defects | Shortened life expectancy of material

Location: Above balcony

Task: Repair

Time: Discretionary

WALLS \ Brick, stone and concrete

Condition: • Three brick ties are protruding from the wall above the wing wall.

Implication(s): Cosmetic

Location: Front Garage

Task: Remove

Time: Discretionary

Condition: • A small crack was noted in a mortar joint above the left window.

Implication(s): Chance of water intrusion

Location: Bonus room-left window

Task: Repair/tuck-point joint

Time: Immediate

Condition: • [Missing, ineffective weep holes or flashings](#)

No weep holes are installed above the rear window on the garage.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Front Garage

Task: Repair

Time: Immediate

EXTERIOR GLASS \ Exterior trim

Condition: • [Caulking loose, missing or deteriorated](#)

Gaps are noted in the caulking on the bonus room windows.

Implication(s): Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

Task: Re-caulk where needed

Time: Discretionary

Structure

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General

• The homeowner discovered water on the attic floor near the north window a couple of months ago. There is currently no visible evidence of water intrusion or stains. Recommend further evaluation to determine if roof or window leaks may be present.

Location: Rear Garage attic

Task: Further evaluation & Monitor for moisture

FLOORS \ Columns or piers

Condition: • There are no vapor barriers installed between the girders and several masonry piers.

Implication(s): The vapor barrier helps prevent the wood from absorbing moisture from the masonry blocks and somewhat acts as a termite shield

Location: Various locations in Crawl Space (all piers are not shown or photographed)

Task: Repair

Time: Immediate

FLOORS \ Engineered wood

Condition: • [No blocking, bracing or bridging](#)

Blocking panels and squash blocks have been installed between the I-joists along the some of the girders. Several joists do not have blocking panels or squash blocks installed between them. The blocking is necessary in order to keep the I-joists from buckling or crushing. Recommend having the builder verify that blocking panels are installed at all required locations as specified by the building plans and/or joist manufacturer.

Implication(s): Weakened structure | Chance of structural movement | Bouncy, springy floors

Location: Various locations

Task: Further evaluation

Time: Immediate

ROOF FRAMING \ Rafters/trusses

Condition: • Two or more rafters and a beam are stained and are partially covered with a .

Implication(s): Health issues for many people

Location: Attic over Breakfast room

Task: Repair, replace or clean/Check for leaks

Time: Immediate

Condition: • [End bearing inadequate](#)

The ends of several hip rafters have long angled cuts, are toe-bearing and do not rest on the heel of the rafter. It's my understanding that the entire angle should have full bearing or bracing. This installation may cause the rafter to crack or split. Although the framing was approved by codes, it's still recommended that a qualified contractor or structural engineer evaluate the toe-bearing members and determine if repair, or bracing, is necessary.

Implication(s): Chance of structural movement

Location: Attic at kitchen & southeast portion of main attic

Task: Further evaluation

Time: Immediate

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111 Saample Park Lane, Brentwood, TN February 17, 2011

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Condition: • [Split](#)

A short rafter at the northwest corner is split and the tie-down bracket is not attached to the top plate.

Implication(s): Weakened structure | Chance of structural movement

Location: Main Attic

Task: Repair or replace

Time: Immediate

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

Condition: • No breaker lockout. A circuit breaker lockout should be installed on the breaker for the dishwasher.

Implication(s): Safety issue for repairmen, The device allows to lock the breaker in the off position for service and repairs

Location: Garage Sub panel

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Abandoned wire](#)

An abandoned wire should be properly terminated inside a covered junction box or removed.

Implication(s): Electric shock

Location: Southeast Crawl Space

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Cover loose or missing](#)

The wires not properly terminated in the box and the cover is missing.

Implication(s): Electric shock | Fire hazard

Location: Attic in Front Garage by radon pipe

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • The tamper resistant slots in the outlet on the end of the counter, left of the sink, are defective.

Implication(s): Difficult to use, Equipment failure

Location: Kitchen

Task: Replace outlet

Time: Immediate

Condition: • [Inoperative](#)

Two outlets in the screened-in porch are not functional.

Implication(s): Equipment inoperative

Task: Further evaluation

Time: Immediate

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Condition: • [Reversed polarity](#)

The outlet at the end of the counter, right of the sink, is wired in reverse polarity.

Implication(s): Electric shock

Location: Kitchen

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Outlets (receptacles) - number or location

Condition: • No outlet is installed on the balcony.

Implication(s): Nuisance/promotes use of extension cords

Task: Provide

Time: Discretionary

Insulation and Ventilation

ATTIC/ROOF \ Insulation

Condition: • [Gaps or voids](#)

A small area in the attic near the breakfast room is not insulated.

Implication(s): Increased heating and cooling costs | Reduced comfort

Task: Repair

Time: Immediate

FOUNDATION \ Interior insulation

Condition: • The vapor barrier has come loose from the foundation and piers at various locations. Gaps and loose seams should be repaired.

Implication(s): Unvented crawl spaces need 100% coverage and no gaps.

Task: Repair

Time: Immediate

Condition: • The foundation insulation is not visible. Verify that the foundation is filled with foam insulation.

Task: Further evaluation

Time: Immediate

Condition: • [None at rim joist](#)

Implication(s): Increased heating costs

Location: Southeast Corner

Task: Repair/install insulation

Time: Immediate

FOUNDATION \ Crawlspace ventilation

Condition: • There is no visible system installed to supply conditioned house air into the crawl space. A closed or conditioned crawl space should be supplied with conditioned air from the house and/or the HVAC system to control moisture vapor in the crawl space. Have the builder verify the location of the air supply or install a dehumidifying system or a conditioned air supply.

Implication(s): Chance of moisture related issues in crawl space

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Task: Further evaluation

Time: Immediate

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Dishwasher drain connections](#)

Recommend fastening the dishwasher discharge line to the inside of the cabinet at a point higher than the line's connection to the disposal (high loop method). This will help prevent possible backflow. (Note: the air gap device shown in the attached illustration is not required.) Also, it would be best to connect the drain line to the disposal instead of the tailpiece.

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Improve

Time: Discretionary

WASTE PLUMBING \ Drain piping - installation

Condition: • [Poor support](#)

Two plumbing straps are loose.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Crawl space near half bath

Task: Repair/secure

Time: Discretionary

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • The sink drain leaks at the drain stopper valve or pivot bushing. (Drips after activating the stopper a couple of times.)

Implication(s): Chance of water damage

Location: Half Bathroom

Task: Repair

Time: Immediate

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

The left handle on the tub faucet is loose.

Implication(s): Equipment failure

Location: Master Bathroom

Task: Repair/secure

Time: Discretionary

FIXTURES AND FAUCETS \ Shower stall

Condition: • There is no sweep on the bottom of the shower door.

Implication(s): Leakage under the door

Location: First Floor Guest Bathroom

Task: Provide

Time: Discretionary

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FIXTURES AND FAUCETS \ Shower stall enclosure

Condition: • Two cracked tiles were observed in the shower floor.

Implication(s): Chance of shower pan leakage

Location: Master Bathroom

Task: Repair

Time: Discretionary

FIXTURES AND FAUCETS \ Whirlpool bath pump

Condition: • [No pump access](#)

Implication(s): Increased maintenance costs | Difficult to service

Task: Install access panel

Time: Discretionary

Interior

WALLS \ Plaster or drywall

Condition: • [Water damage](#)

The wall in the stairway has possible water damage.

Implication(s): Cosmetic defects

Location: Staircase from garage to breezeway

Task: Further evaluation to determine cause and/or source of moisture.

Time: Immediate

CEILINGS \ General

Condition: • Stains

The ceiling is stained in two areas. The areas are currently dry and there is no visible evidence of leaks in the attic.

Implication(s): Cosmetic defects

Location: Second Floor near stairway and sitting area

Task: Further evaluation/Check for leaks and repair ceilings and monitor for leaks.

Time: Immediate

WINDOWS \ General

Condition: • Painted shut

Implication(s): Nuisance | Equipment inoperative

Location: Various locations

Task: Repair windows to open

Time: Discretionary

DOORS \ Doors and frames

Condition: • The interior trim is bowed on the front door. The reason(s) for the excessive movement is unknown. -The balcony door is located directly above the front entry door. Both doors face west. The balcony door and/or threshold had leaked in the past and was repaired a couple of months ago. The walls and insulation surrounding the front door should be checked for concealed water damage. Proper insulation around the door should be verified.

Task: Further evaluation & Repair

Time: Immediate

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DOORS \ Hardware

Condition: • One of the latches on the double doors needs adjusting. (door is difficult to close)

Location: Piano room

Task: Repair/adjust

Time: Discretionary

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a home inspection; these may have to be adjusted based on the findings of specialists.

ROOFING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Description

General: • The inspection and report are based on visible and apparent conditions at the time of the inspection. The report is not intended to be conclusive regarding the lifespan of the roofing system or how long it will remain watertight in the future. A roof may leak at any time including the day after the inspection. We recommend an annual roof inspection and periodic maintenance to maximize the life of roofs.

Sloped roofing material: • Visible flashing material(s): Metal, Plastic/rubber plumbing vent flashing(s)

Sloped roofing material:

- Composition shingles

Gable and hip roof configuration. Shingles are dimensional. Typical lifespan of dimensional shingles is 17-25 years.

- [Metal](#)

Rear porch roof is metal.

Limitations

Inspection performed:

- By walking on roof
- With binoculars from the ground

Due to the steep roof pitch, portions of the roof inspection was conducted from ground level using high power binoculars. Minor imperfections and minor shingle damage may not be visible from the ground.

Recommendations

SLOPED ROOFING \ Metal

Condition: • [Missing, loose or broken pieces](#)

Several panels are lifted.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Porch roof

Task: Repair

Time: Immediate



1. Lifted panel



2. Lifted panel

ROOFING

111 Saample Park Lane, Brentwood, TN February 17, 2011

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SLOPED ROOFING \ Composition shingles

Condition: • The flashing is lifting and damaging a shingle at the left corner of the breakfast room.

Implication(s): Damaged shingle-chance of leakage

Location: Porch roof

Task: Repair

Time: Immediate



3. Flashing is tearing a shingle

Condition: • Debris under a shingle on the rear slope of the main garage should be removed.

Implication(s): May prevent the shingle from sealing properly.

Location: Rear Garage

Task: Repair

Time: Discretionary



4. Debris under a shingle

ROOFING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Condition: • Minor shingle damage noted.

One of the laminated tabs is missing.

Implication(s): Cosmetic

Location: Front Slope of Breakfast room

Task: Replace

Time: Discretionary



5. Laminated tab is missing

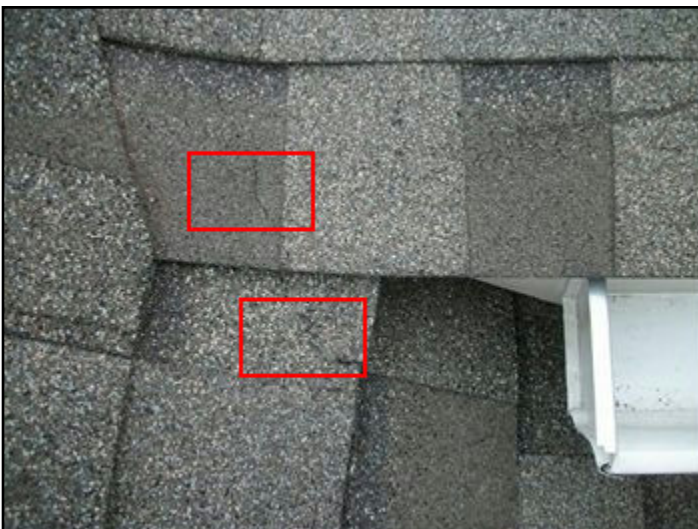
Condition: • Minor shingle damage noted.

Implication(s): Chance of leakage

Location: Valley above side door, edge of roof at kitchen

Task: Replace

Time: Immediate



6. Minor shingle damage



7. Minor shingle damage

ROOFING

111 Saample Park Lane, Brentwood, TN February 17, 2011

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Condition: • [Cracked](#)

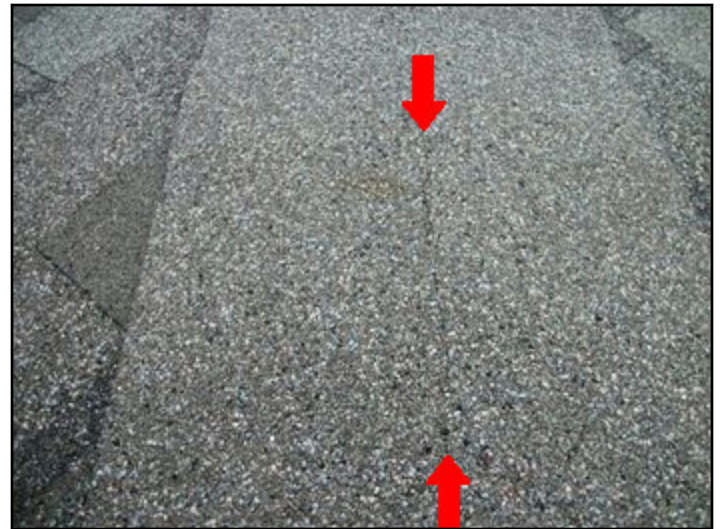
Several ridge shingles are cracking.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Kitchen

Task: Repair or replace

Time: Immediate



8.

9.

Condition: • [Exposed fasteners](#)

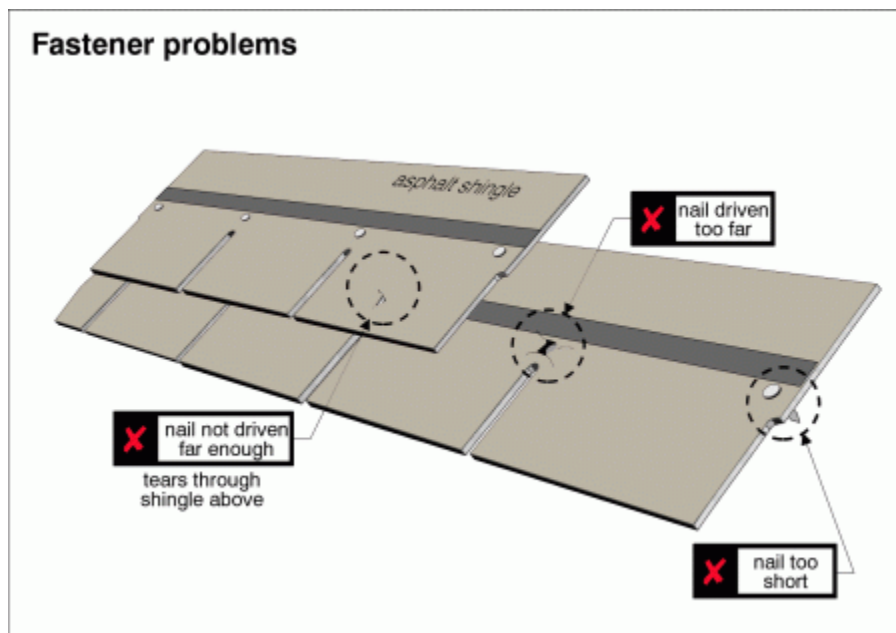
Nails used to fasten the plumbing vent flashings and roof flashings should be caulked.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various locations

Task: Repair

Time: Immediate



ROOFING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Condition: • [Exposed fasteners](#)

Two exposed roofing nails are present on the roof. Nails such as these are hard to find and are easily missed. Recommend having a roofer examine the roof for exposed nails and repair or replace as necessary.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Garage/side porch

Task: Repair

Time: Immediate



10. Exposed fastener-valley near side porch



11.



12. Exposed fastener @ garage

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

Condition: • [No step or counter flashings](#)

The top of the step flashing is exposed. No counter flashing was installed to cover the step flashing and prevent water from seeping in along the flashing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Small porch roof at side door

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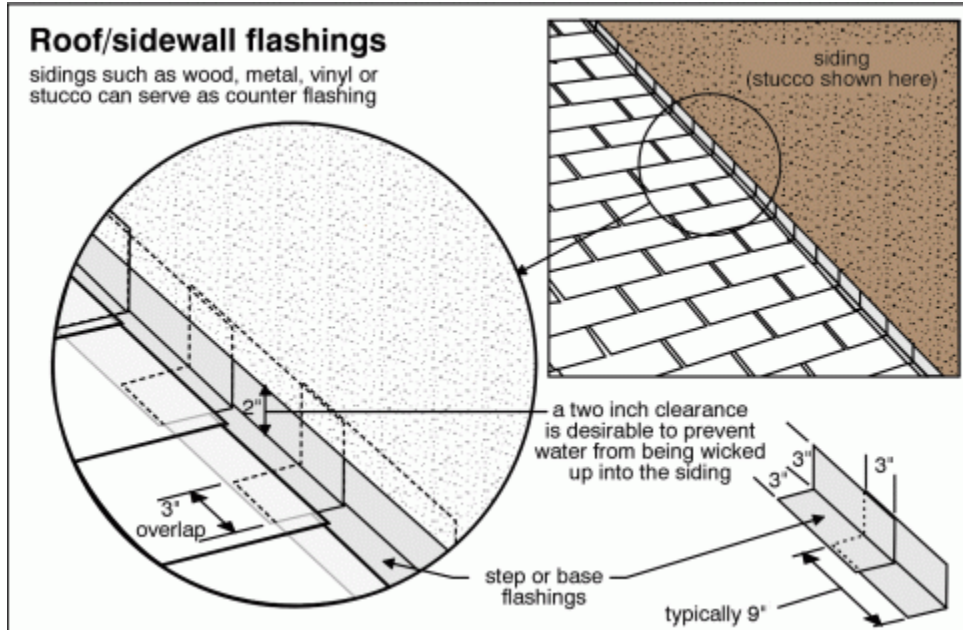
INTERIOR

SITE INFO

REFERENCE

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)



13. No counter flashing

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Description

General: • Yard drains and the driveway drain were not tested.

General: • Crawl space and basement leakage is often caused by conditions on the exterior of the house or building. Water that is allowed to collect outside the foundation will leak through the foundation walls. Lot grading around the house or building should slope away from the foundation so that surface water is directed from the structure. Similarly, gutters and downspout should collect water and carry it away from the house or building.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Below grade](#)

Lot slope: • [Away from house](#)

Wall surfaces - masonry: • [Brick](#) • [Artificial stone](#)

Wall surfaces : • Composite or Fiber cement

Soffit and fascia: • Composite or Fiber cement

Driveway: • Concrete • No performance issues were noted.

Walkway: • Concrete • No performance issues were noted.

Porch: • Concrete, concrete block

Porch: • No performance issues were noted

Exterior steps: • Brick • No performance issues were noted.

Patio: • Flagstone • No performance issues were noted.

Fence: • Metal • No performance issues were noted.

Garage: • Attached two car garage • Attached one car garage • Garage floor: Concrete slab, typical cracks noted

Limitations

Inspection limited/prevented by: • Safety reverse beam sensors are functional at the time of the inspection. Note: We do not test the down force control mechanisms. Placing an object under the door or exerting pressure on the door could damage the door.

Inspection limited by: • Storage items and/or automobiles in the garage limits the inspection of the garage.

Upper floors inspected from: • Ground level with binoculars.

Exterior inspected from: • Ground level

Recommendations

General

- The paint on the furnace flue is peeling.

Implication(s): Cosmetic

Location: Rear roof

Task: Repaint

Time: Discretionary



14. *Peeling paint on flue*

WALLS \ Soffits and fascia

Condition: • [Loose or missing pieces](#)

A small opening in the eave located left of the rear pedestrian door should be repaired.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Chance of pests entering house

Location: Between house and 2-car garage

Task: Repair

Time: Discretionary

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15. Gap in soffit

WALLS \ Trim

Condition: • [Paint](#)

The trim on the left dormer needs painting.

Implication(s): Cosmetic defects | Shortened life expectancy of material

Location: Above balcony

Task: Repair

Time: Discretionary



16. Trim needs painting

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WALLS \ Brick, stone and concrete

Condition: • Three brick ties are protruding from the wall above the wing wall.

Implication(s): Cosmetic

Location: Front Garage

Task: Remove

Time: Discretionary



17. Brick ties

Condition: • A small crack was noted in a mortar joint above the left window.

Implication(s): Chance of water intrusion

Location: Bonus room-left window

Task: Repair/tuck-point joint

Time: Immediate



18.



19. Crack in mortar joint

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Condition: • [Missing, ineffective weep holes or flashings](#)

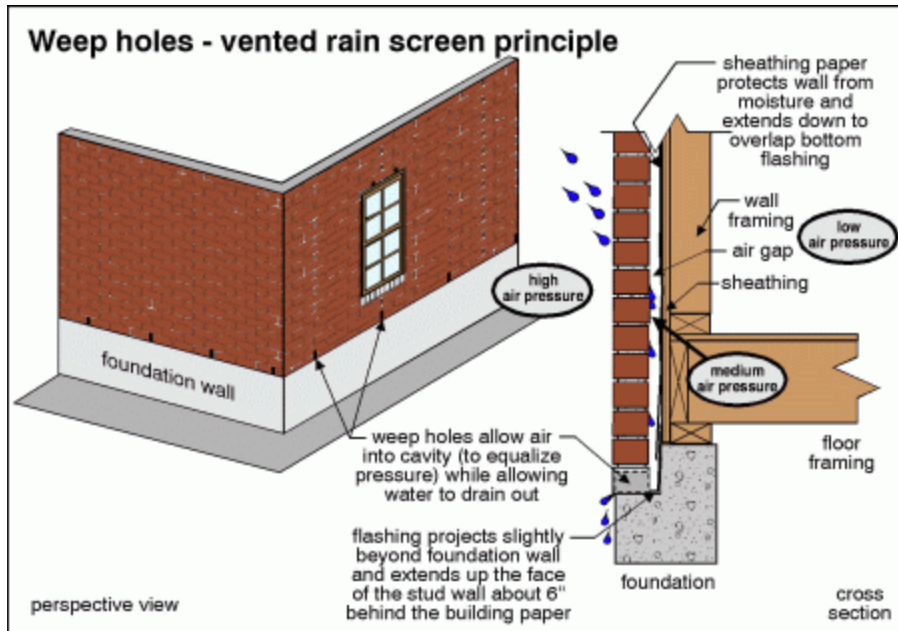
No weep holes are installed above the rear window on the garage.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Front Garage

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)



20. Missing weep holes

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EXTERIOR GLASS \ Exterior trim

Condition: • [Caulking loose, missing or deteriorated](#)

Gaps are noted in the caulking on the bonus room windows.

Implication(s): Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

Task: Re-caulk where needed

Time: Discretionary



21. *Gaps in caulking*

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REFERENCE

Description

Configuration: • [Crawl space](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Wood I-joists](#) • Masonry columns • Engineered wood beams • Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • [Wood frame](#) • Not visible

Roof and ceiling framing: • Wood rafters/joists

Roof and ceiling framing:

• [OSB \(Oriented Strand Board\) sheathing](#)

Radiant barrier osb sheathing

Limitations

General: • Structure and foundation inspections are visual and limited to accessible components. Areas concealed or hidden from view by furnishings, finished walls, vegetation and etc. cannot be evaluated and are not part of a home inspection.

Attic/roof space: • Attics were entered.

Crawl space: • Crawl space was entered

Recommendations

General

• The homeowner discovered water on the attic floor near the north window a couple of months ago. There is currently no visible evidence of water intrusion or stains. Recommend further evaluation to determine if roof or window leaks may be present.

Location: Rear Garage attic

Task: Further evaluation & Monitor for moisture

FLOORS \ Columns or piers

Condition: • There are no vapor barriers are installed between the girders and several masonry piers.

Implication(s): The vapor barrier helps prevent the wood from absorbing moisture from the masonry blocks and somewhat acts as a termite shield

Location: Various locations in Crawl Space (all piers are not shown or photographed)

Task: Repair

Time: Immediate



22. Missing vapor barrier



23. Missing vapor barrier



24. Missing vapor barrier

FLOORS \ Engineered wood

Condition: • [No blocking, bracing or bridging](#)

Blocking panels and squash blocks have been installed between the I-joists along the some of the girders. Several joists do not have blocking panels or squash blocks installed between them. The blocking is necessary in order to keep the I-joists from buckling or crushing. Recommend having the builder verify that blocking panels are installed at all required locations as specified by the building plans and/or joist manufacturer.

Implication(s): Weakened structure | Chance of structural movement | Bouncy, springy floors

Location: Various locations

Task: Further evaluation

Time: Immediate

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



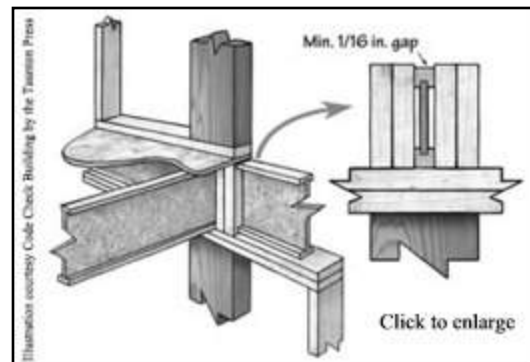
25. Missing blocking



26.



27. Missing blocking



28.

ROOF FRAMING \ Rafters/trusses

Condition: • Two or more rafters and a beam are stained and are partially covered with a .

Implication(s): Health issues for many people

Location: Attic over Breakfast room

Task: Repair, replace or clean/Check for leaks

Time: Immediate

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



29. Mold-like substance



30. Mold-like substance

Condition: • [End bearing inadequate](#)

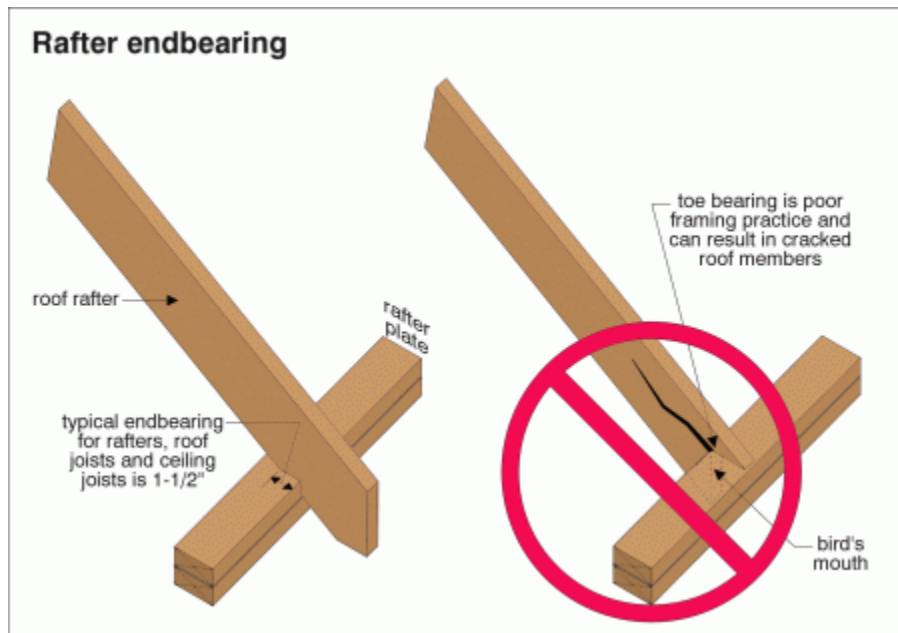
The ends of several hip rafters have long angled cuts, are toe-bearing and do not rest on the heel of the rafter. It's my understanding that the entire angle should have full bearing or bracing. This installation may cause the rafter to crack or split. Although the framing was approved by codes, it's still recommended that a qualified contractor or structural engineer evaluate the toe-bearing members and determine if repair, or bracing, is necessary.

Implication(s): Chance of structural movement

Location: Attic at kitchen & southeast portion of main attic

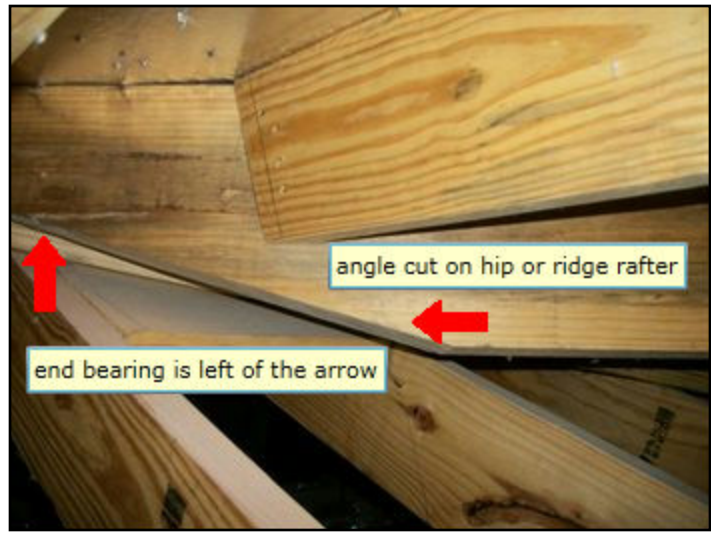
Task: Further evaluation

Time: Immediate



[Click on image to enlarge.](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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31.

Condition: • [Split](#)

A short rafter at the northwest corner is split and the tie-down bracket is not attached tot he top plate.

Implication(s): Weakened structure | Chance of structural movement

Location: Main Attic

Task: Repair or replace

Time: Immediate



32. Loose tie-down bracket



33. Cracked rafter

Description

General: • Smoke detectors should be tested when you move in, then re-tested weekly. Manufacturers state that nine to ten years is the lifespan of a smoke detector and eight for carbon monoxide detectors. Recommend replacing any detector that is nearing the end of its service life.

General: • The ceiling fan(s) appear functional. Proper attachment to the ceilings is not readily visible and was not checked.

Service entrance cable and location: • Underground service lateral

Service size: • 225 Amps (240 Volts)

Main disconnect/service box rating: • 225 Amps

Main disconnect/service box type and location: • Breakers-exterior wall near the electric meter

System grounding material and type: • Copper-ground rod

Auxiliary panel (subpanel) type and location: • Breakers- near tornado shelter • HVAC disconnect panel-breaker(s)

Auxiliary panel (subpanel) type and location: • [Breakers - garage](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • Outlets were randomly tested and had correct polarity with the exceptions noted below in the recommendation section.

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • All GFCI's tested functional. • GFCI- laundry room
• GFCI- by bar sink

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - outside](#) • [GFCI - whirlpool](#)
• [GFCI - garage](#) • [GFCI - kitchen](#) • [AFCI - panel](#)

Smoke detectors: • [Present](#)

Limitations

Inspection limited/prevented by: • The AFCI breakers were not tested since electronics and clocks are present on the circuits.

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

Condition: • No breaker lockout. A circuit breaker lockout should be installed on the breaker for the dishwasher.

Implication(s): Safety issue for repairmen, The device allows to lock the breaker in the off position for service and repairs

Location: Garage Sub panel

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Abandoned wire](#)

An abandoned wire should be properly terminated inside a covered junction box or removed.

Implication(s): Electric shock

Location: Southeast Crawl Space

Task: Repair

Time: Immediate



34. *Wire not properly terminated*

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Cover loose or missing](#)

The wires not properly terminated in the box and the cover is missing.

Implication(s): Electric shock | Fire hazard

Location: Attic in Front Garage by radon pipe

Task: Repair

Time: Immediate



35. *Wires not properly terminated*

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • The tamper resistant slots in the outlet on the end of the counter, left of the sink, are defective.

Implication(s): Difficult to use, Equipment failure

Location: Kitchen

Task: Replace outlet

Time: Immediate

Condition: • [Inoperative](#)

Two outlets in the screened-in porch are not functional.

Implication(s): Equipment inoperative

Task: Further evaluation

Time: Immediate

Condition: • [Reversed polarity](#)

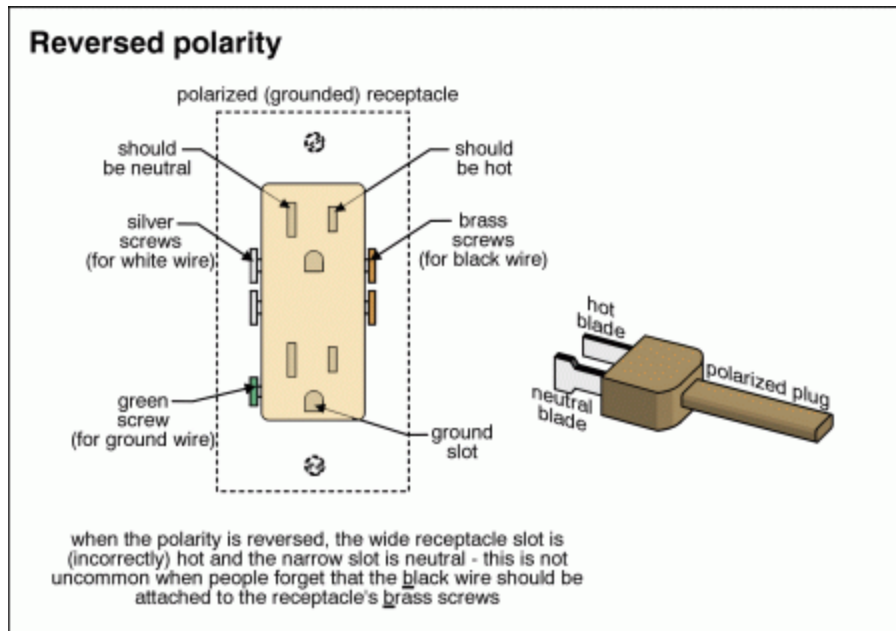
The outlet at the end of the counter, right of the sink, is wired in reverse polarity.

Implication(s): Electric shock

Location: Kitchen

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)

DISTRIBUTION SYSTEM \ Outlets (receptacles) - number or location

Condition: • No outlet is installed on the balcony.

Implication(s): Nuisance/promotes use of extension cords

Task: Provide

Time: Discretionary

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DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors

Condition: • Recommend installing carbon monoxide detectors.

Task: Improve

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Description

Fuel/energy source: • [Gas](#)

System type: • Gas single package unit • Gas furnace split unit • The furnaces are functional at the time of the inspection.

Furnace manufacturer: • Bryant

Heat distribution: • [Ducts and registers](#)

Typical life expectancy: • Typical lifespans of HVAC units range from 8-12 years. Mechanical failure can occur at any time, without warning, including the day after the inspection.

Main fuel shut off at: • Meter

Fireplace: • Ventless fireplace in piano room

Fireplace: • Damper is functional.

Note: Clamp (stop) installed on damper in living room.

Fireplace: • [Gas logs](#) • [Factory-built](#)

Chimney/vent: • [Masonry](#)

Furnace exhaust pipe: • Double wall

Chimney liner: • [Metal](#)

Combustion air source: • Attic

Limitations

Safety devices: • Not tested as part of a home inspection

Heat loss calculations: • Not done as part of a home inspection

Heat exchanger: • Panels on single package HVAC units are not readily removable, and are not removed during the inspection. The heat exchanger is not visible. Carbon monoxide detectors are recommended. • Split unit: Only a small portion of the heat exchanger is visible on the furnace.

Recommendations

RECOMMENDATIONS \ Overview

Condition: • No heating recommendations are offered as a result of this inspection.

COOLING & HEAT PUMP

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Description

Air conditioning type: • [Air cooled](#)

Manufacturer: • Bryant

Typical life expectancy: • 8-12 years

Limitations

Inspection limited/prevented by:

- Low outdoor temperature

The A/C systems were not operated since the outdoor temperature is below 65 degrees. The compressors could be damaged by operating the units.

Heat gain calculations: • Not done as part of a home inspection

Recommendations

RECOMMENDATIONS \ Overview

Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • Approximately 9-14 inches of loose-fill insulation

Attic/roof ventilation: • [Soffit vent](#) • [Ridge vent](#)

Wall insulation material: • Glass fiber in visible areas

Foundation wall insulation material: • Not visible. -ask builder foundation is foam filled.

Crawlspace ventilation: • [None Found](#)

Air/vapor barrier: • A plastic barrier is installed over the earthen crawl space floor.

Recommendations

ATTIC/ROOF \ Insulation

Condition: • [Gaps or voids](#)

A small area in the attic near the breakfast room is not insulated.

Implication(s): Increased heating and cooling costs | Reduced comfort

Task: Repair

Time: Immediate



36. Missing insulation

FOUNDATION \ Interior insulation

Condition: • The vapor barrier has come loose from the foundation and piers at various locations. Gaps and loose seams should be repaired.

Implication(s): Unvented crawl spaces need 100% coverage and no gaps.

Task: Repair

Time: Immediate

INSULATION AND VENTILATION

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37. Gaps in vapor barrier



38. Gap in vapor barrier



39. Vapor barrier pulled loose from wall

Condition: • The foundation insulation is not visible. Verify that the foundation is filled with foam insulation.

Task: Further evaluation

Time: Immediate

Condition: • [None at rim joist](#)

Implication(s): Increased heating costs

Location: Southeast Corner

Task: Repair/install insulation

Time: Immediate

INSULATION AND VENTILATION

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40. Missing rim insulation

FOUNDATION \ Crawlspace ventilation

Condition: • There is no visible system installed to supply conditioned house air into the crawl space. A closed or conditioned crawl space should be supplied with conditioned air from the house and/or the HVAC system to control moisture vapor in the crawl space. Have the builder verify the location of the air supply or install a dehumidifying system or a conditioned air supply.

Implication(s): Chance of moisture related issues in crawl space

Task: Further evaluation

Time: Immediate

Description

General: • Utility sinks in the garages are functional. No visible leaks are noted.

General: • All bathrooms appear functional with the exceptions noted in the recommendation section.

Service piping into building: • PEX entering crawl space

Supply piping in building: • Pex

Main water shut off valve at the: • Garage and at meter

Water flow (pressure): • Water flow at the hose faucets, kitchen and bathroom fixtures appear satisfactory at the time of the inspection.

Water heater fuel/energy source: • [Gas](#) • [Electric](#)

Water heater type: • [Conventional](#) • [Tankless/indirect](#)

Water heater manufacturer:

- Rinnai
- State

Small water electric heater-tank capacity unknown (label facing wall).

Water heater approximate age: • 1 year

Typical life expectancy: • The water heater appears functional. Typical lifespans for water heaters range from 5-10+ years. • Unknown- varies for tankless water heaters

Waste disposal system: • Drainage at the kitchen and bathroom fixtures appear satisfactory at the time of the inspection.

Waste piping in building: • [PVC plastic](#)

Gas piping: • Steel

Limitations

Items excluded from a building inspection: • Irrigation systems

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested

Recommendations

WASTE PLUMBING \ Drain piping - performance

Condition: • [Dishwasher drain connections](#)

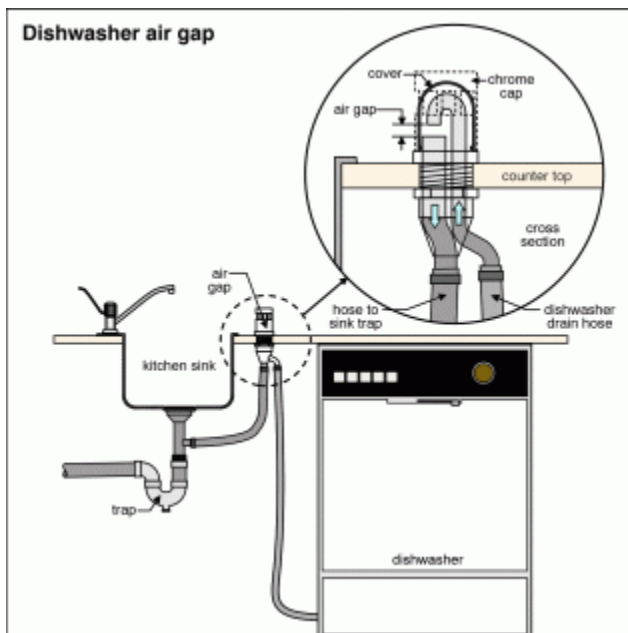
Recommend fastening the dishwasher discharge line to the inside of the cabinet at a point higher than the line's connection to the disposal (high loop method). This will help prevent possible backflow.(Note: the air gap device shown in the attached illustration is not required.) Also, it would be best to connect the drain line to the disposal instead of the tailpiece.

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Improve

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Time: Discretionary



[Click on image to enlarge.](#)

WASTE PLUMBING \ Drain piping - installation

Condition: • [Poor support](#)

Two plumbing straps are loose.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Crawl space near half bath

Task: Repair/secure

Time: Discretionary



41. Loose strap



42. Loose strap

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • The sink drain leaks at the drain stopper valve or pivot bushing. (Drips after activating the stopper a couple of times.)

Implication(s): Chance of water damage

Location: Half Bathroom

Task: Repair

Time: Immediate

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

The left handle on the tub faucet is loose.

Implication(s): Equipment failure

Location: Master Bathroom

Task: Repair/secure

Time: Discretionary

FIXTURES AND FAUCETS \ Shower stall

Condition: • There is no sweep on the bottom of the shower door.

Implication(s): Leakage under the door

Location: First Floor Guest Bathroom

Task: Provide

Time: Discretionary

FIXTURES AND FAUCETS \ Shower stall enclosure

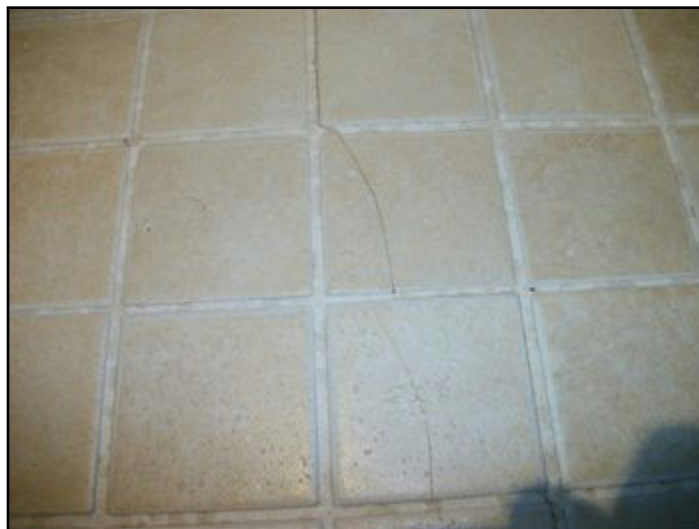
Condition: • Two cracked tiles were observed in the shower floor.

Implication(s): Chance of shower pan leakage

Location: Master Bathroom

Task: Repair

Time: Discretionary



43. Cracked tiles

PLUMBING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

FIXTURES AND FAUCETS \ Whirlpool bath pump

Condition: • [No pump access](#)

Implication(s): Increased maintenance costs | Difficult to service

Task: Install access panel

Time: Discretionary

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Description

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Tile

Major wall and ceiling finishes: • Drywall; typical cracks and nail pops noted

Windows: • There is no visible evidence of fogged glass/defective seals. Defective seals in insulated windows are very hard to identify when the windows are dirty and condensation is not present between the panes during the inspection. Defective seals can occur at any time. -Monitor.

Windows: • [Single/double hung](#) • Wood

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged

Evidence of crawlspace leakage: • The crawl space is dry at the time of the inspection.

Oven type: • Electric

Range fuel: • Gas

Appliances: • All appliances were operated and appear to be functional.

Note: per Mrs. Headrick

Appliances: • Wine chiller

Appliances: • Refrigerator • Range hood • Dishwasher • Waste disposal • Door bell

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Counters and cabinets: • Inspected, appears functional.

Stairs and railings: • Inspected

Limitations

Not included as part of a building inspection: • Laundry appliances are not operated. • Refer to the terms and conditions listed in the inspection agreement. • Icemaker was not operated

Not included as part of a building inspection: • Security systems and intercoms • Cosmetic issues

Recommendations

WALLS \ Plaster or drywall

Condition: • [Water damage](#)

The wall in the stairway has possible water damage.

Implication(s): Cosmetic defects

Location: Staircase from garage to breezeway

Task: Further evaluation to determine cause and/or source of moisture.

Time: Immediate



44. Possible water damage

Condition: • [Typical flaws](#)

A crack was noted in the wall left of the exterior door.

Implication(s): Cosmetic defects

Location: Office

Task: Repair

Time: Discretionary

CEILINGS \ General

Condition: • Stains

The ceiling is stained in two areas. The areas are currently dry and there is no visible evidence of leaks in the attic.

Implication(s): Cosmetic defects

Location: Second Floor near stairway and sitting area

Task: Further evaluation/Check for leaks and repair ceilings and monitor for leaks.

Time: Immediate

WINDOWS \ General

Condition: • Painted shut

Implication(s): Nuisance | Equipment inoperative

Location: Various locations

Task: Repair windows to open

Time: Discretionary

DOORS \ Doors and frames

Condition: • The interior trim is bowed on the front door. The reason(s) for the excessive movement is unknown. -The balcony door is located directly above the front entry door. Both doors face west. The balcony door and/or threshold had leaked in the past and was repaired a couple of months ago. The walls and insulation surrounding the front door should be checked for concealed water damage. Proper insulation around the door should be verified.

Task: Further evaluation & Repair

Time: Immediate

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



45. Gaps in trim



46. Front door facing west

DOORS \ Hardware

Condition: • One of the latches on the double doors needs adjusting. (door is difficult to close)

Location: Piano room

Task: Repair/adjust

Time: Discretionary

SITE INFO

111 Saample Park Lane, Brentwood, TN February 17, 2011

Report No. 1110, v.3

www.ppi.bz

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Description

Weather: • Overcast • Ground was damp • Moderate winds

Approximate temperature: • 50°- 55°

Attendees: • Mrs. Headrick

Occupancy: • The home was occupied at the time of the inspection.

Approximate inspection start and end time: • The inspection started at 9:30 a.m. • The inspection ended at 3:30 p.m.

Approximate age of home: • Less than one year

Building type: • Single family

Number of stories: • Two

Limitations

General: • Photos included in the report are a representation of the overall conditions observed during the inspection and are not intended to be all-inclusive.

END OF REPORT

REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)